

TOWN OF MISSISSAUGA



CITY OF MISSISSAUGA
PLANNING AND BUILDING



Drawings Reviewed for Compliance with
Ontario Building Code and Mississauga Zoning By-law
Subject to the scope noted on the Building Permit Notice
and any markups shown on the drawings

PERMIT NO. **BP 9ALT 21-8441**

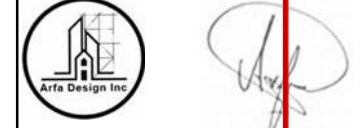
2021-12-22

SIGNATURE

E. SAHAR ARFA, CHIEF BUILDING OFFICIAL

GENERAL NOTES:
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QUALIFICATION INFORMATION



NAME **SAHAR ARFA** FIRM NAME **ARFA DESIGN INC**

BCIN **107072** BCIN **110518**

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code in the appropriate classes categories

SCOPE OF WORK

- INTERIOR ALTERATION
- ADDITION OF SECOND FLOOR
- LEGAL BASEMENT
- PROPOSE WALKOUT BASEMENT

2589 Vineland Rd
Mississauga, ON L5K 2A3

DESIGNER: SAHAR ARFA
BCIN # 107072

EMAIL : SAHAR@ARFADESIGN.CA
PHONE : 416- 880-4280

PROJECT NAME

2589 VINELAND RD

DRAWING NAME

COVER SHEET

A00

SCALE

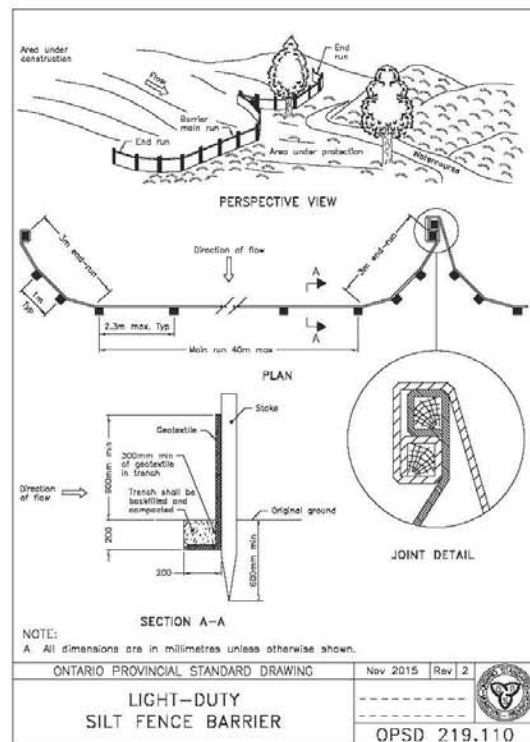
CERTIFICATION NOTE:

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THE DWELLING AT 2589 VINELAND ROAD, AND HAVE PREPARED THIS GRADING AND DRAINAGE PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY PROFESSIONAL OPINION THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS, ADJACENT PROPERTIES AND MUNICIPAL SERVICES.

NOVEMBER 4, 2021

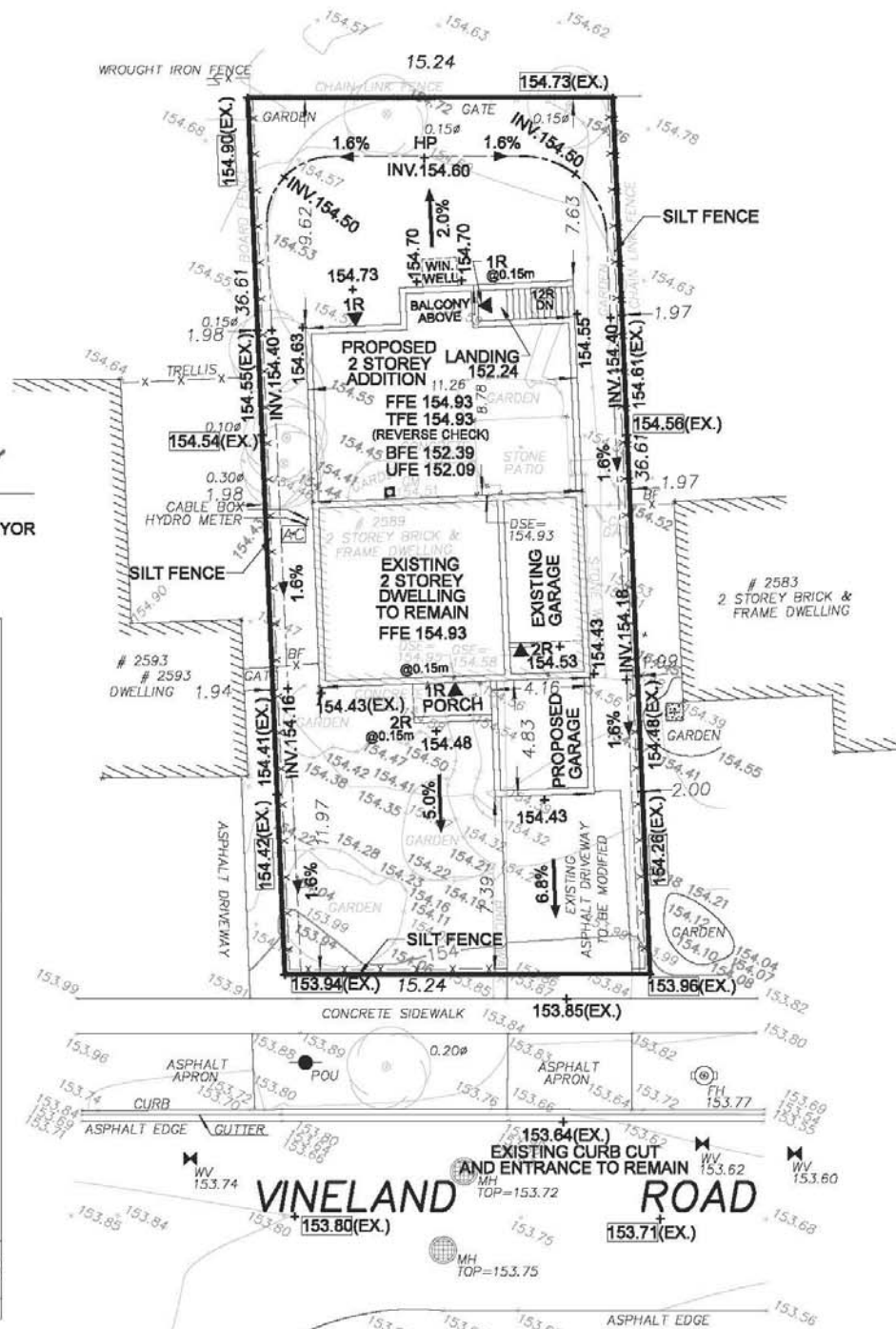
DATE

S. SINNIS
ONTARIO LAND SURVEYOR



CAUTION

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK. THE WORK AND DRAWINGS HEREIN WERE COMPLETED FOR THE EXCLUSIVE USE OF OUR CLIENT AND NO LIABILITY IS ASSUMED TO ANY THIRD PARTIES OR SUBSEQUENT OWNERS.



AVERAGE GRADE CALCULATION

$$\frac{154.90 + 154.73 + 154.54 + 154.56 + 153.94 + 153.96 + 153.80 + 153.71}{8} = 154.27$$

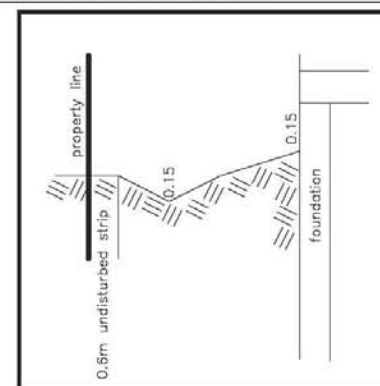
REVISIONS

rev.	Date	COMMENTS
1	2021.11.04	ISSUED FOR REVIEW
2	2021.12.07	AMENDMENTS PER PM
3	yyyy.mm.dd	

LEGEND

FFE	FIRST FLOOR ELEVATION	SWALE DRAINAGE
TFE	TOP OF FOUNDATION ELEVATION	SHEET DRAINAGE
BFE	BASEMENT FLOOR ELEVATION	ROOF LEADER
UFE	UNDERSIDE OF FOOTING ELEVATION	MH MAINTENANCE HOLE
123.45	EXISTING SPOT ELEVATION	CB CATCH BASIN
123.45	AVERAGE GRADE CALCULATION	POU UTILITY POLE
x100.00	PROPOSED ELEVATION	WV WATER VALVE
DSE	DOOR SILL ELEVATION	FH FIRE HYDRANT
GSE	GARAGE SILL ELEVATION	9.15 DECIDUOUS TREE WTRUNK DIAMETER
BF	BOARD FENCE	SHRUB
CLF	CHAIN LINK FENCE	AC AIR CONDITIONER
		GM GAS METER

TYPICAL SWALE DETAIL



SITE PLAN/GRADING PLAN OF 2589 VINELAND ROAD

CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:250

GENERAL NOTES

1. GENERALLY, DRIVEWAY TO BE LOCATED TO MAXIMIZE SHEET FLOW DRAINAGE FROM HOUSE, DRIVEWAY, ETC.
2. GENERALLY, DRIVEWAYS TO BE GRADED WITH 2.0% MIN. CROSS FALL.
3. WHERE DITCHING IS REQUIRED, 9.0M MIN. 450MM LO-HED EQUIV. CSP'S ARE TO BE INSTALLED UNDER PROPOSED DRIVEWAYS.
4. GENERALLY, HOUSE TO BE CONSTRUCTED UPON A 300MM, (MIN. VERTICAL APRON WITH THE TOE OF THE APRON MEETING EXISTING GRADE OF LOT.
5. GRADING OF THE APRON (I.E. WITHIN 2.4 M OF THE BUILDING) SHOULD BE MAINTAINED AT STANDARD GRADE OF BETWEEN 2% AND 5% (MIN.).
6. AREAS DISTURBED BY LOT GRADING SHALL BE LIMITED TO THOSE AREAS NECESSARY TO CONSTRUCT HOME, DRIVEWAY & SEPTIC BED.
7. DOWNSPOUTS TO BE CONSTRUCTED TO SPLASH BLOCKS.
8. MAINTAIN MINIMUM 1.22M COVER FOR FOOTINGS.
9. STEP FOOTINGS WHERE REQUIRED.
10. DRIVEWAYS TO DRAIN TO STREET.

UNDERSIDE OF FOOTING MAY BE LOWER THAN ELEVATION NOTED DUE TO EXISTING CONDITIONS, EXACT DEPTH OF FOOTING TO BE DETERMINED ON SITE DURING EXCAVATION FOR FOOTING

PLAN NOTES

ELEVATIONS ARE GEODETIC AND REFERRED TO CITY OF MISSISSAUGA BENCHMARK 800, ELEVATION 157.505M BENCHMARK 800, ELEVATION 157.505M (CGVD-1928:PRE-1978 ADJUSTMENT) AND BENCHMARK 331, ELEVATION 149.136M (CGVD-1928:PRE-1978 ADJUSTMENT) DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE METRIC AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048.

BOUNDARY INFORMATION SHOWN HEREON IS IN ACCORDANCE WITH IBW SURVEYORS RECORDS (PROJECT NUMBER A-030586).

CONTOURS SHOWN HEREON ARE DRAWN AT 0.20 METRE INTERVALS.

SITE STATISTICS

	EXISTING	PROPOSED	TOTAL
ZONING	-	R3	
LOT AREA	-	557.4 m²	
BUILDING AREA	- 87.5 m²	106.8 m²	194.3 m²
LOT COVERAGE	- 15.7 %	19.2 %	34.9 %
BUILDING HEIGHT	-	±6.8 m	
NUMBER OF STOREYS	-	2	

IBW SURVEYORS

IBWSURVEYORS.COM | 1.800.667.0696

PARTY CHIEF: MP | DRAWN BY: JC/CF | CHECKED BY: SS/JC

FILE NAME: A-030586-SP-V5 | PLOT DATE: DEC. 7, 2021

CITY OF MISSISSAUGA
PLANNING AND BUILDING

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PERMIT NO. BP 9ALT 21-8441

2021-12-22

NAME SAHAR ARFA
FIRM NAME ARFA DESIGN INC
BCIN 1219672
E. SAVINI, P.ENG CHIEF BUILDING OFFICIAL
BCIN 110618

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code in the appropriate classes categories

PROJECT NAME

2589 VINELAND RD

DRAWING NAME

SURVEY DRAWING

A01

SCALE

SURVEY DRAWING

LOT	EXISTING	
LOT FRONTAGE	50 ft	15.24 m
LOT DEPTH	120.11 ft	36.61 m
LOT AREA	6005.40 sq.ft	557.92 sq.m

AREA	EXISTING		ADDITIONS/SUBTRACTIONS		PROPOSE	
BASEMENT	584.15 Sq.ft	54.27 Sq.m	1072.51 Sq.ft	99.64 sqm	1656.67 Sq.ft	153.91 m
GROUND FLOOR (GFA)	939.36 Sq.ft	87.27 Sq.m	882.21 Sq.ft	81.96 Sq.m	1821.57 Sq.ft	169.23 Sq.m
SECOND FLOOR (GFA)	939.36 Sq.ft	87.27 Sq.m	1106.31 Sq.ft	102.78 sqm	2045.68 Sq.ft	190.05 Sq.m
FRONT PORCH	0 Sq.ft	0 Sq.m	44.99 Sq.ft	4.18 Sq.m	44.99 Sq.ft	4.18 Sq.m
SECOND FLOOR BALCONY	00 Sq.ft	00 Sq.m	49.62 Sq.ft	4.61 Sq.m	49.62 Sq.ft	4.61 sqm
GARAGE	00 Sq.ft	00 Sq.m	270.49 Sq.ft	25.13 Sq.m	270.49 Sq.ft	25.13 Sq.m

FSI/ COVERAGE	EXISTING			ADDITIONS/SUBTRACTIONS			PROPOSE			PERMITTED		
LOT COVERAGE	939.36 Sq.ft	87.27 Sq.m	15.64%	1152.81 Sq.ft	107.1 sqm	19.19%	2092.18 Sq.ft	194.36 Sq.m	34.82%	2101.86 sqf	195.27 sqm	35%

SETBACKS	EXISTING		PROPOSE	
FRONT	38.28 ft	11.67 m	24.24 ft	7.39 m
REAR	31.56 ft	9.62m	25.03 ft	7.63 m
SIDE SOUTH	6.43 ft	1.96 m	0 ft	0 m
SIDE NORTH	6.49 ft	1.98 m	0 ft	0 m

HEIGHT	EXISTING		PROPOSE FOR ADDITION ROOF	
HEIGHT ROOF	25.49 ft	7.77 m	18.83 ft	5.74 m

LANDSCAPING FRONT YARD	EXISTING		PROPOSED	
FRONT YARD AREA	2003.48 sq. ft	186.13 SQ.M	1654.41 sq. ft	153.70 SQM
FRONT YARD SOFTCAPE AREA	1302.64 sq. ft	121.02 SQ.M	78.73%	
FRONT YARD ASHFALT	336.69 sq. ft	31.28 SQ.M	351.76 sq. ft	32.68 SQ.M 21.27%

ROOF OVERHANG
WITH EAVE GUTTER

0.30 M

ZONING INFORMATION R3

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PERMIT NO. BP 9ALT 21-8441
2021-12-22

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL



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QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 119672 BCIN 119618

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PROJECT NAME

2589 VINELAND RD

DRAWING NAME


SITE STATISTIC


A02

SCALE 1 : 50

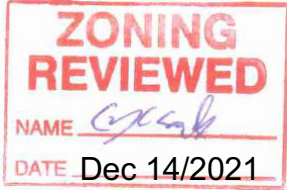






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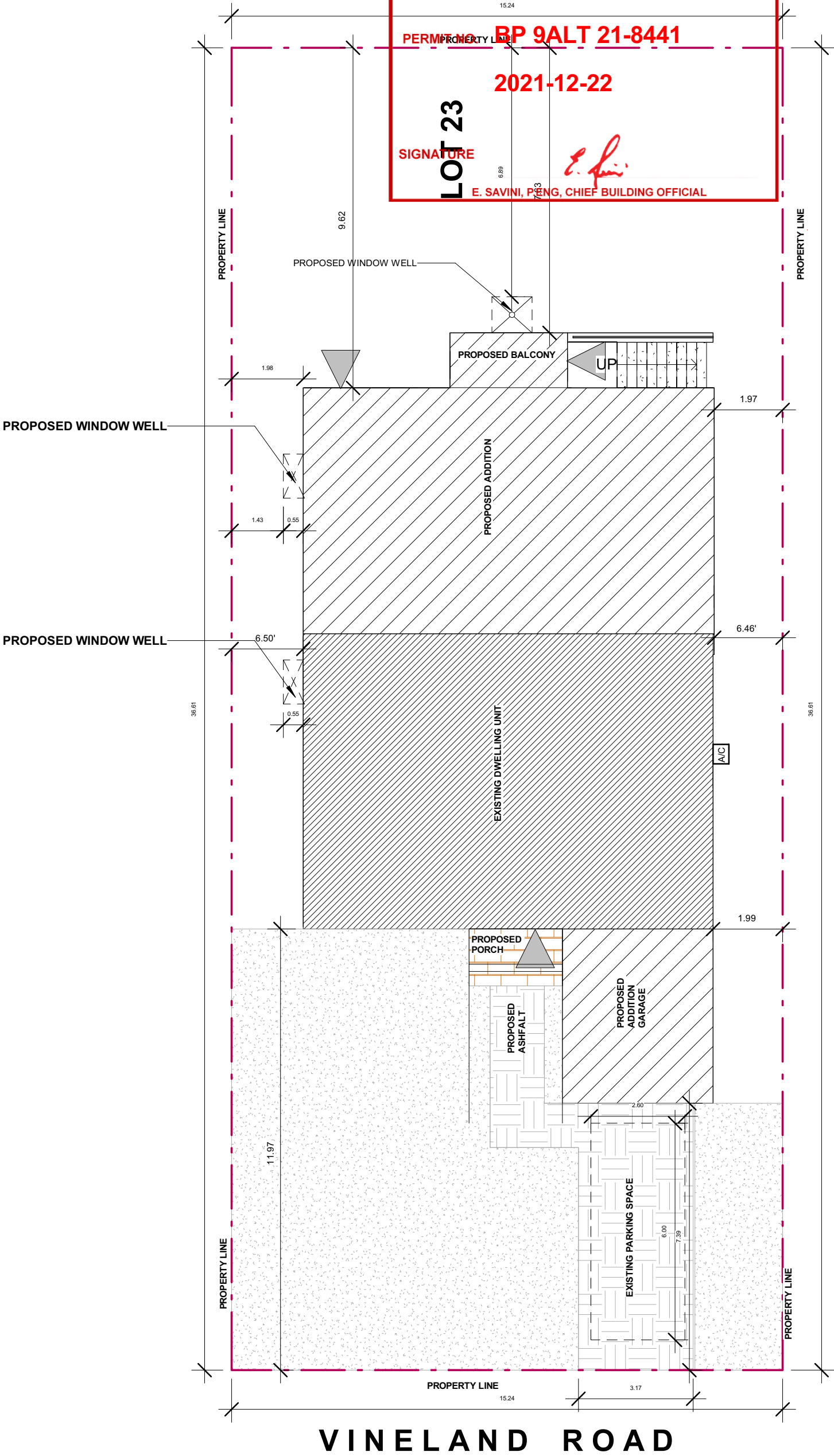
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NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC
BCIN 107072 BCIN 110518
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PROJECT NAME 2289 VINELAND RD	DRAWING NAME SITE PLAN
CITY OF MISSISSAUGA PLANNING AND BUILDING	
Drawings Reviewed for Compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to the scope noted on the Building Permit Notice and any markups shown thereon	
LOT 23	PERMIT NO. BP 9ALT 21-8441
2021-12-22	
SIGNATURE  E. SAVINI, P. ENG, CHIEF BUILDING OFFICIAL	
A03	SCALE 1:120

**NOT APPROVED
FOR SECOND
DWELLING UNIT**



	ACCESS TO DWELLING
	PROPOSED ADDITION
	EXISTING DWELLING UNIT
	EXISTING SOFTSCAPE



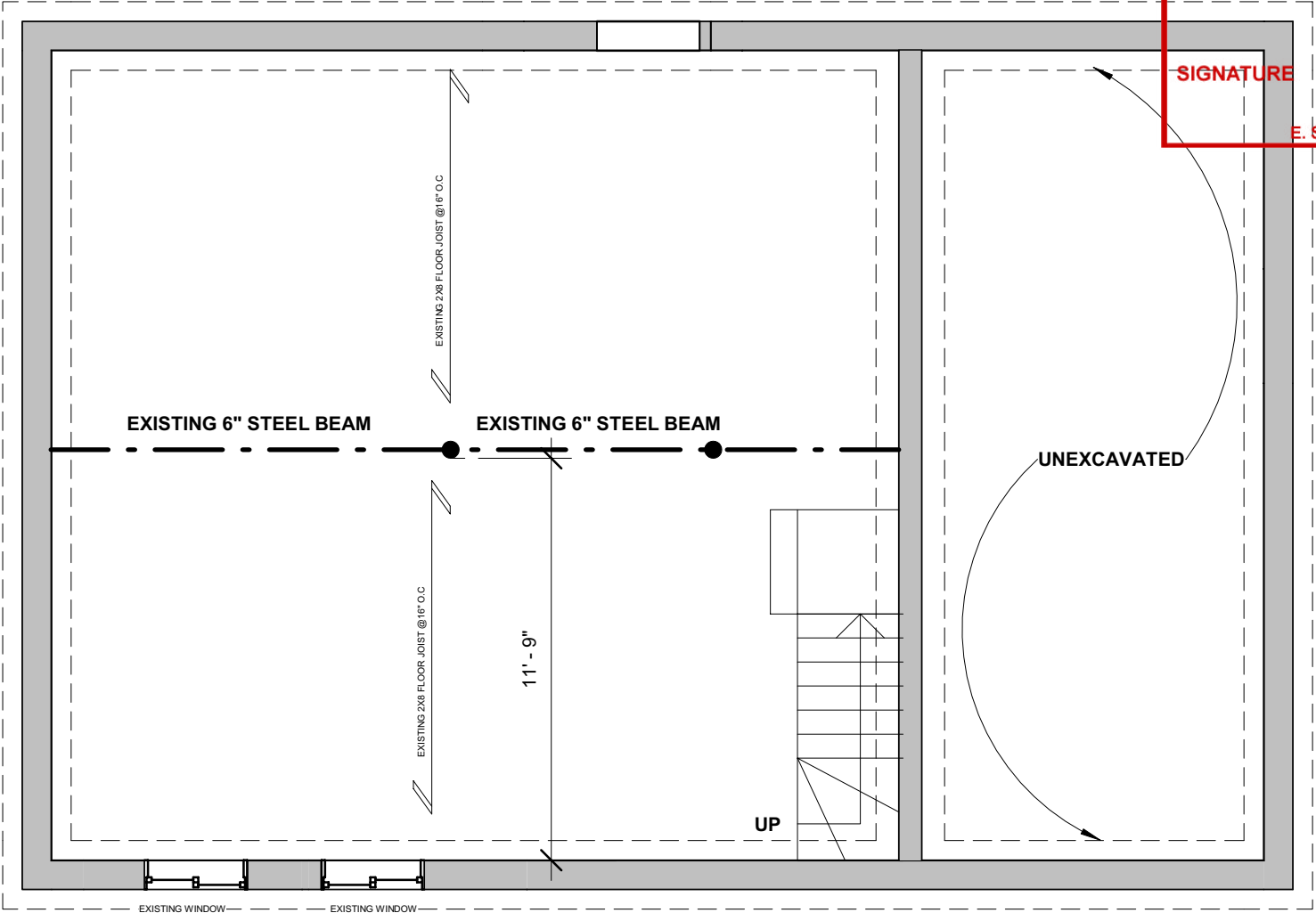
LEGEN



EXISTING WALL TO BE REMAINED



EXISTING AIR REGISTERED



EXISTING BASEMENT

CITY OF MISSISSAUGA
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2021-12-22

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PROJECT NAME

2589 VINELAND RD

DRAWING NAME

EXISTING
BASEMENT

A04

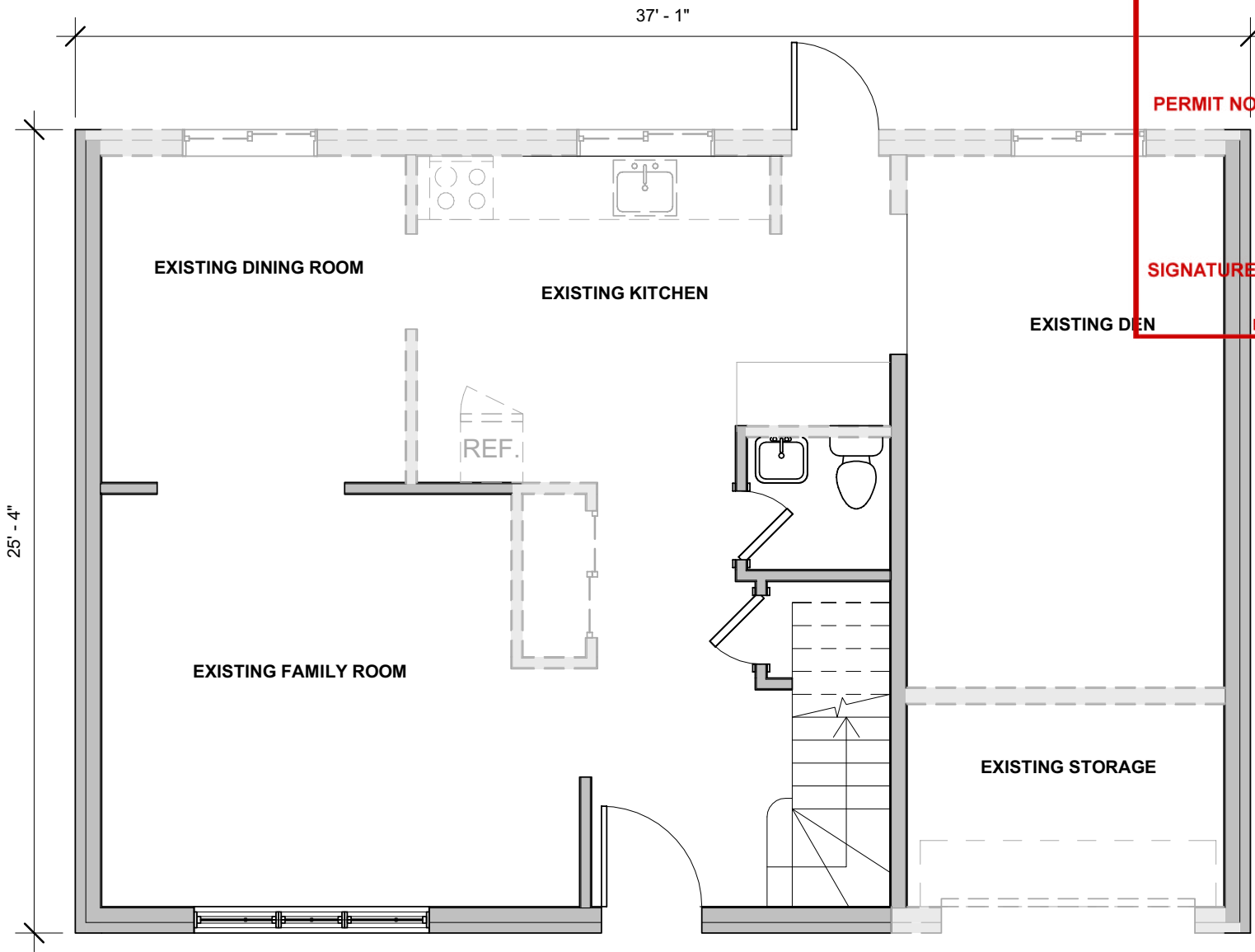
SCALE

1 : 60

LEGENT

EXISTING WALL TO BE REMAINED

EXISTING WALL TO BE REMOVED



EXISTING FIRST FLOOR

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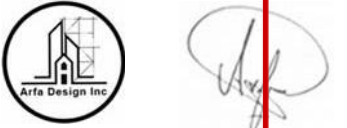
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PROJECT NAME

2589 VINELAND RD

DRAWING NAME

EXISTING FIRST FLOOR

A05

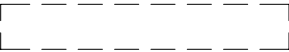
SCALE

1 : 60

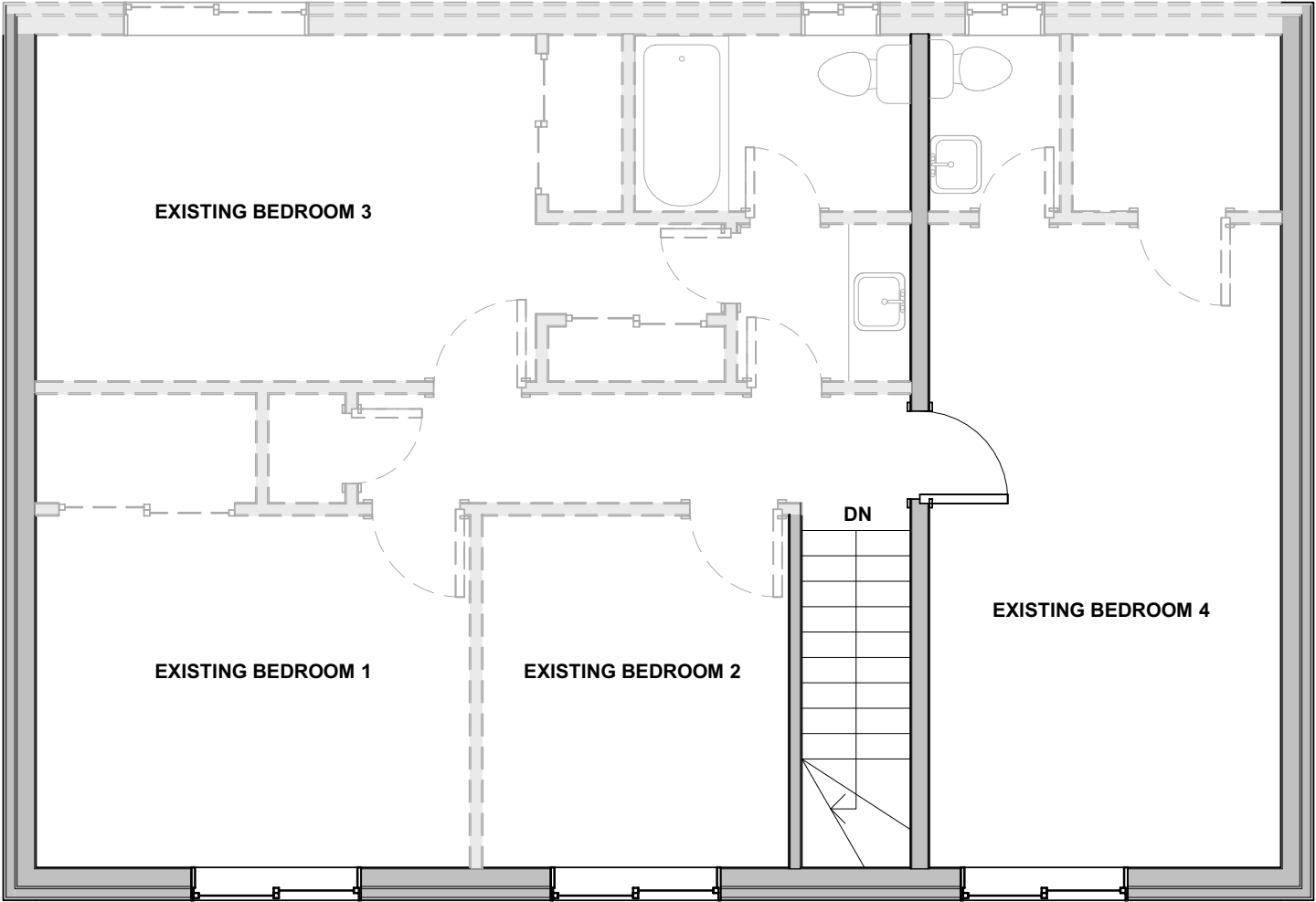
LEGENT



EXISTING WALL TO BE REMAINED



EXISTING WALL TO BE REMOVED



EXISTING SECOND FLOOR

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PROJECT NAME

2589 VINELAND RD

DRAWING NAME

EXISTING SECOND FLOOR

A06

SCALE

1 : 60



EXISTING FRONT ELEVATION

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T.O. PLATE
17' - 11"
SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

T.O. SECOND FLOOR
10' - 5"

T.O. MAIN FLOOR
1' - 6"

GRADE
0' - 0"

T.O. BASEMENT
-6' - 10"

Top of Footing
-7' - 2"



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BCIN 110518

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PROJECT NAME

2589 VINELAND RD

DRAWING NAME

FRONT ELEVATION

A07

SCALE

1 : 70

CITY OF MISSISSAUGA
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T.O.PLATE **2021-12-22**
17' - 11"

SIGNATURE *E. Savini*
E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL



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PROJECT NAME

2589 VINELAND RD

DRAWING NAME

REAR ELEVATION

A08

SCALE 1 : 70



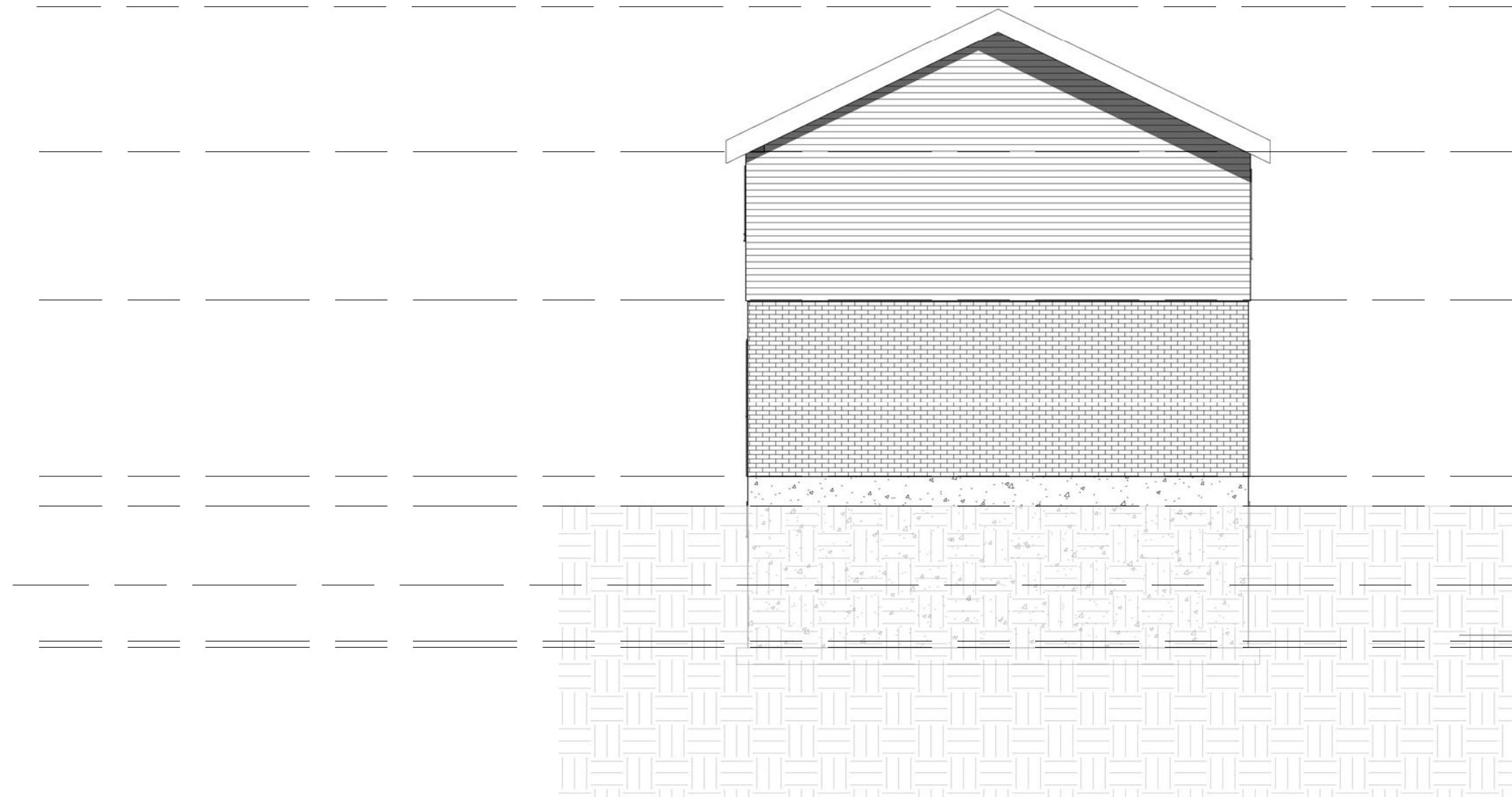
T.O. SECOND FLOOR
10' - 5"

T.O.MAIN FLOOR
G1' - 6"
0' - 0"

T.O.BASEMENT
-6' - 10"

Top of Footing
-7' - 2"

EXISTING REAR ELEVATION



EXISTING LEFT ELEVATION

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Top of Roof
25' - 3"

PERMIT NO. **BP 9ALT 21-8441**

T.O.PLATE
17' - 11"

SIGNATURE
E. Savini
E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

T.O. SECOND FLOOR
10' - 5"

T.O.MAIN FLOOR
G1' - 6"
0' - 0"

Bott. Of Garage Footing
-4' - 0"

Top of Footing
-6' - 12"



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PROJECT NAME

2589 VINELAND RD

DRAWING NAME

LEFT ELEVATION

A09

SCALE 1 : 80



EXISTING RIGHT ELEVATION

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PROJECT NAME
2589 VINELAND RD

DRAWING NAME
EXISTING RIGHT ELEVATION

A10
SCALE 1 : 80

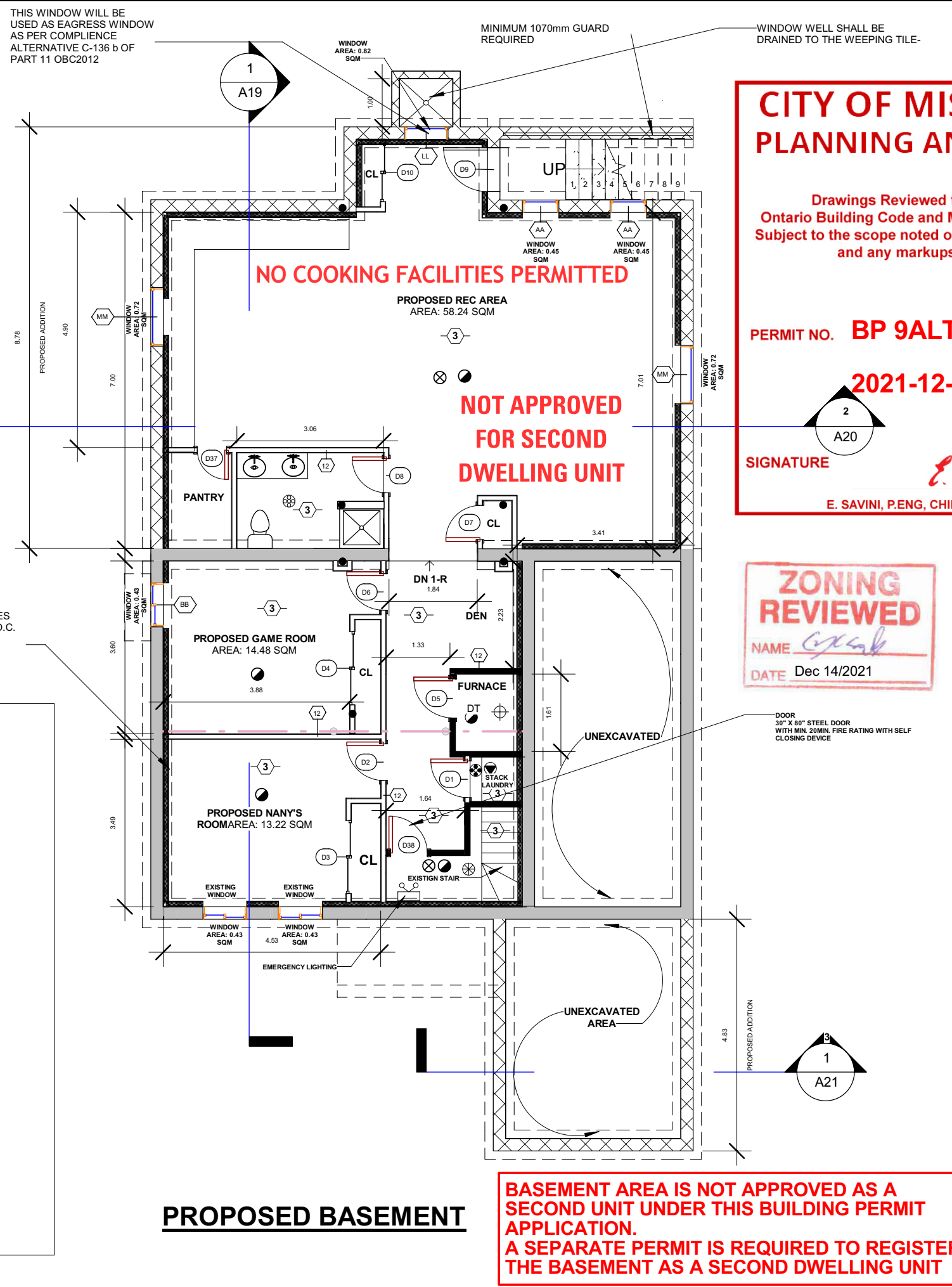
LEGEND

- EXISTING WALL TO BE REMAINED
- PROPOSED FOUNDATION WALL (REFER TO STRUCTURAL DRAWING)
- 12

1/2" DRYWALL FINISH BOTH SIDES OF 2"x4" WOOD STUDS @ 16" O.C.
2 TOP PLATES AND 1 BOTTOM PLATE
- BATHROOM /WASHROOM MECHANICAL VENTILATION TO EXTERIOR AIR PER OBC 9.32.2.
- DRYER VENT TO EXTERIOR , AS PER OBC. 9.32.3
- 3

HORIZONTAL SEPARATION 15.9MM TYPE "X" GYPSUM BOARD CEILING 45 MINUTE FRR AND STC 50, RESILIENT METAL CHANNELS SPACED 610MM O.C IN ACCORDANCE TO SB3 TABLE 2 (F9h)
- PROPOSED 45 MIN. FIRE SEPARATION (W1C)
- 2"x4" SPF NO. 2 STUDS 16" O.C. 2X4 SILL PLATE AND 2- 2X4 TOP PLATES PROVIDE 10mm POLY WHERE SILL PLATES ARE IN CONTACT WITH CONCRETE FLOOR 1/2" TYPE "X" DRY WALL EACH SIDE TAPED, SANDED , AND PAINTED CONFORMING TO ARTICLE 9.29.5.2. OF DIVISION B.
- PROVIDE MIN 30 MINUTES FIRE RATED 5/8" THICK TYPE X DRYWALL UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
- DT

DUCT TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
- CARBON MONOXIDE DETECTOR W/ AN ALARM AUDIBLE THROUGHOUT THE HOUSE OR INTERCONNECTED W/ THE SMOKE ALARMS SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED , IT WILL ACTIVATE THE SMOKE ALARMS, AS PER OBC.9.32.3.8.
CARBON MONOXIDE DETECTOR W/ AN ALARM AUDIBLE THROUGHOUT THE HOUSE OR INTERCONNECTED W/ THE SMOKE ALARMS SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED , IT WILL ACTIVATE THE SMOKE ALARMS, AS PER OBC.9.32.3.8. TO BE INSTALLED ADJACENT TO EACH SLEEPING AREA WHERE A FUEL BURNING APPLIANCE IS INSTALLED, IT SHALL BE INSTALLED AS PER 9.33.4.3 AND CONFORM TO CAN/CSA-6.19 & UL 2034 ULC RATED CARBON MONOXIDE DETECTOR TO BE CONNECTED TO THE BUILDINGS ELECTRICAL SUPPLY WITHOUT A DISCONNECT WALL SWITCH AND HAVING A CIRCUIT NOT INTER-CONNECTED TO ANY WALL OUTLET.
- U.L.C. APPROVED SMOKE ALARM AS PER OBC 9.10.18. AND 9.10.19 INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
ULC RATED DUAL CHAMBER SINGLE STATION TYPE W/ WHITE COVERS SMOKE DETECTORS TO BE CONNECTED TO THE BUILDINGS ELECTRICAL SUPPLY WITHOUT A DISCONNECT WALL SWITCH AND HAVING A CIRCUIT NOT INTER-CONNECTED TO ANY WALL OUTLET.
DIV. B, 9.1 0.19.1. SMOKE ALARMS SHOULD BE INSTALLED IN EVERY DWELLING
DIV. B, 9.1 0.19.2. SMOKE ALARMS IN DWELLING UNITS SHOULD BE INSTALLED ON EACH LEVEL, INCLUDING BASEMENTS
DV. B, 9.101 9.3. SMOKE ALARMS SHOULD BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT
DIV. B, 9.10.1 9.4. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED THEY SHOULD BE INTERCONNECTED SO THAT WHEN ONE IS ACTIVATED THEY ARE ALL ACTIVATED
DIV. B, 9.1 0.19.5. INSTRUCTIONS FOR THE CARE AND USE OF SMOKE ALARMS SHOULD BE PROVIDED TO OCCUPANTS
DIV. B, 9.10.19.6. SMOKE ALARMS ARE PERMITTED TO HAVE A SILENCING SWITCH FOR PERIOD OF NOT MORE THAN 10 MM.
- SPRINKLER



CITY OF MISSISSAUGA

PLANNING AND BUILDING

GENERAL NOTES:

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Drawings Reviewed for Compliance with Ontario Building Code and Mississauga Zoning By-law Subject to the scope noted on the Building Permit Notice

PERMIT NO. BP 9ALT 21-8441

2021-12-22

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

QUALIFICATION INFORMATION

NAME SAHAR ARFA

FIRM NAME ARFA DESIGN INC

BCIN 110518

BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code in the appropriate classes categories

ZONING REVIEWED

NAME *C. Savini*

DATE Dec 14/2021

PROJECT NAME

2589 VINELAND RD

DRAWING NAME

PROPOSE BASEMENT

A11

SCALE 1 : 100

LEGEND

- CARBON MONOXIDE DETECTOR W/ AN ALARM AUDIBLE
- U.L.C. APPROVED SMOKE ALARM
- BATHROOM /WASHROOM MECHANICAL VENTILATION TO EXTERIOR AIR PER OBC 9.32.2.

12 1/2" DRYWALL FINISH BOTH SIDES OF 2"x4" WOOD STUDS @ 16" O.C. 2 TOP PLATES AND 1 BOTTOM PLATE

2 STUCCO SYSTEM WALL
FINISH COAT OVER BROWN COAT OVER SCRATCH COAT OVER SELF
- FURRING LATH
- 2 LAYER OF WATER RESISTANCE BARRIER
- 1/2" EXTERIOR GRADE PLYWOOD
- 2"x6" WOOD STUDS @ 16" O.C.
R19 + 5ci INSULATION
6mm POLY V.B.
1/2" GYPSUM BOARD. TAPE AND SANDED. PAINT FIN.

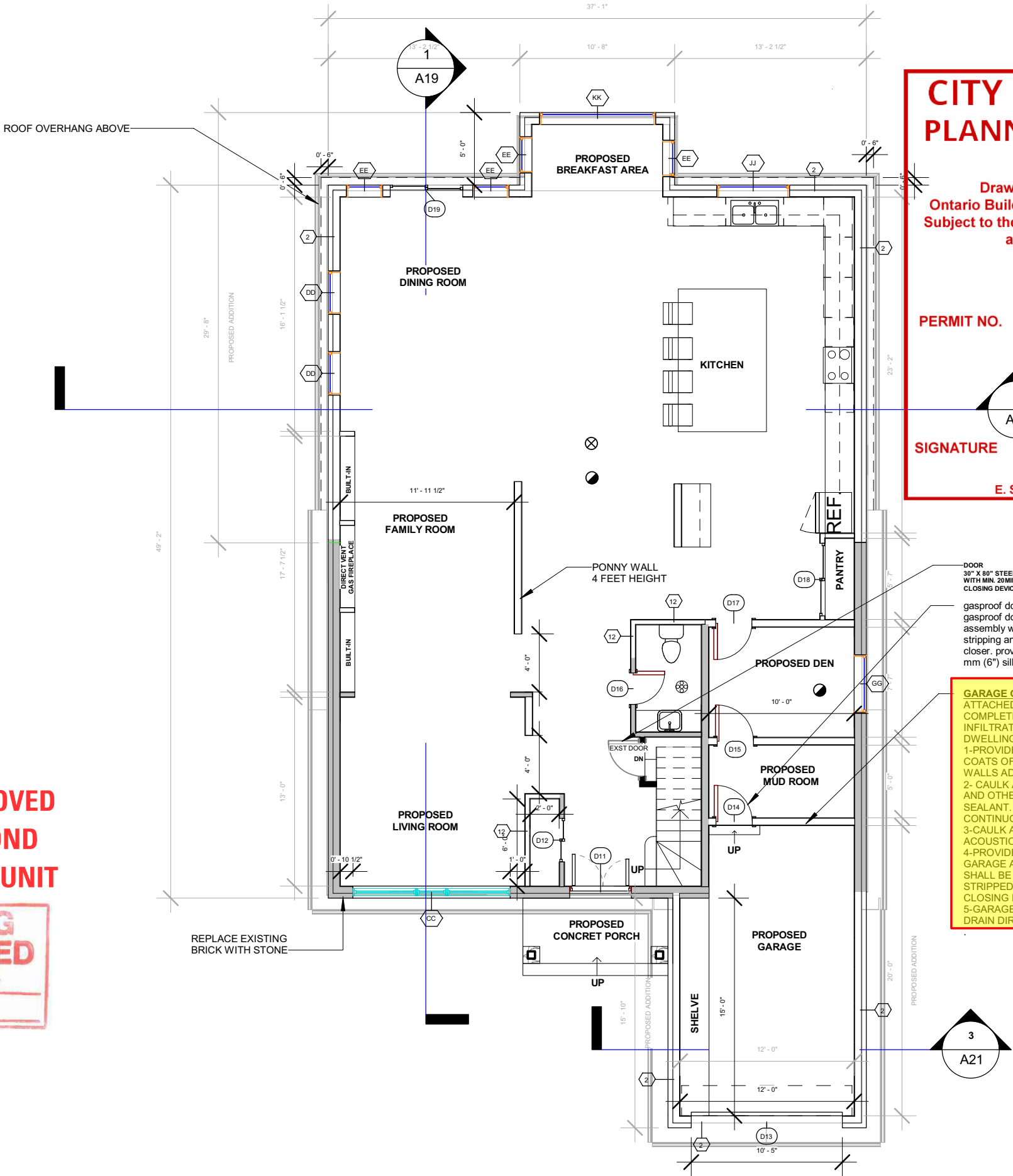
EXISTING WALL TO BE REMAIN

PROPOSED 45 MIN. FIRE SEPARATION (W1C)

2"x4" SPF NO. 2 STUDS 16" O.C. 2X4 SILL PLATE AND 2- 2X4 TOP PLATES PROVIDE 10mm POLY WHERE SILL PLATES ARE IN CONTACT WITH CONCRET FLOOR 1/2" TYPE "X" DRY WALL EACH SIDETAPED, SANDED , AND PAINTED CONFORMING TO ARTICLE 9.29.5.2. OF DIVISION B.

NOT APPROVED
FOR SECOND
DWELLING UNIT

ZONING
REVIEWED
NAME *C. Savini*
DATE Dec 14/2021



CITY OF MISSISSAUGA
PLANNING AND BUILDING

Drawings Reviewed for Compliance with
Ontario Building Code and Mississauga Zoning By-law
Subject to the scope noted on the Building Permit Notice
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PERMIT NO. BP 9ALT 21-8441

2021-12-22

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

GARAGE GASPROOFING
ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT INFILTRATION OF GASES INTO DWELLING
1-PROVIDE 1/2" DRYWALL W/ MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
2- CAULK ALL JOINTS BETWEEN GWB AND OTHER SURFACES W/ACOUSTIC SEALANT. TAKE CARE TO PROVIDE CONTINUOUS SEAL AT ALL JOINTS.
3-CAULK ALL PENETRATION W/ ACOUSTIC SEALANT.
4-PROVIDE INSULATED DOOR BETWEEN GARAGE AND DWELLING. THE DOOR SHALL BE TIGHT FITTING, WEATHER STRIPPED AND PROVIDED W/SELF-CLOSING DEVICE.
5-GARAGE SLAB SHALL BE SLOPED TO DRAIN DIRECTLY OUTSIDE.

THE DESIGN AND CONSTRUCTION OF THIS
BUILDING SHALL COMPLY WITH THE
ONTARIO BUILDING CODE AS AMENDED



GENERAL NOTES:

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QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 1410672 BCIN 1410618

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code in the appropriate classes categories

PROJECT NAME

2589 VINELAND RD

DRAWING NAME





PROPOSE FIRST FLOOR

A12

SCALE 1 : 100

PROPOSED FIRST FLOOR

LEGEND

- | | |
|---|---|
|  | DRYER VENT TO EXTERIOR , AS PER OBC. 9.32.3 |
|  | CARBON MONOXIDE DETECTOR W/ AN ALARM AUDIBLE |
|  | U.L.C. APPROVED SMOKE ALARM |
|  | BATHROOM /WASHROOM MECHANICAL VENTILATION TO EXTERIOR AIR PER OBC 9.32.2. |

12 1/2" DRYWALL FINISH BOTH SIDES OF 2"X4" WOOD STUDS @ 16" O.C.
2 TOP PLATES AND 1 BOTTOM PLATE

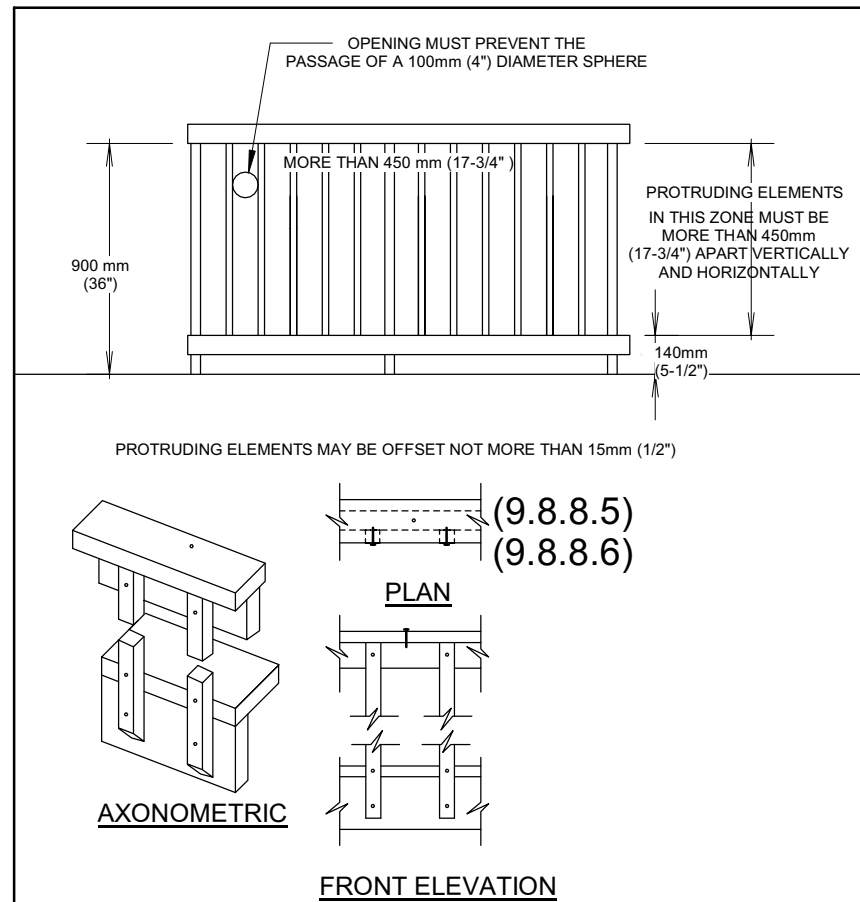
1

9.4.4.1.MASONRY STONE VENEER
(PROVIDE SAMPLES OF FINISH AND COLOUR TO
OWNER
FOR APPROVAL) ATTACHED TO SHEATHING WITH
METAL
TIES EVERY 1'-6" VERT. & HORIZ. ON
1" AIR-SPACE (ENSURE CAVITY IS CLEAR
OF ALL MORTAR AND DEBRIS
"TYVEC" PERFORATED POLYSTYRENE AIR-
BARRIER
LAP AND TAPE ALL SEAMS
OR 15 LB.BLDG.PAPER AIR BARRIER
1/2" EXTERIOR GRADE PLYWOOD
2"x6" WOOD STUDS @ 16" O.C.
R-24 BATT INSULATION
6mm POLY V.B.
1/2" GYPSUM BOARD.
TAPE AND SAND- PAINT FINISH
(STONE MAY BE ATTACHED AS PER
MANUFACTURERS INSTRUCTION

2 STUCCO SYSTEM WALL
FINISH COAT OVER BROWN COAT OVER SCRATCH COAT OVER SELF
- FURRING LATH
- 2 LAYER OF WATER RESISTANCE BARRIER
- 1/2" EXTERIOR GRADE PLYWOOD
- 2"x6" WOOD STUDS @ 16" O.C.
R19 + 5ci INSULATION
6mm POLY V.B.
1/2" GYPSUM BOARD. TAPE AND SANDED. PAINT FIN.

EXISTING WALL TO BE REMAIN

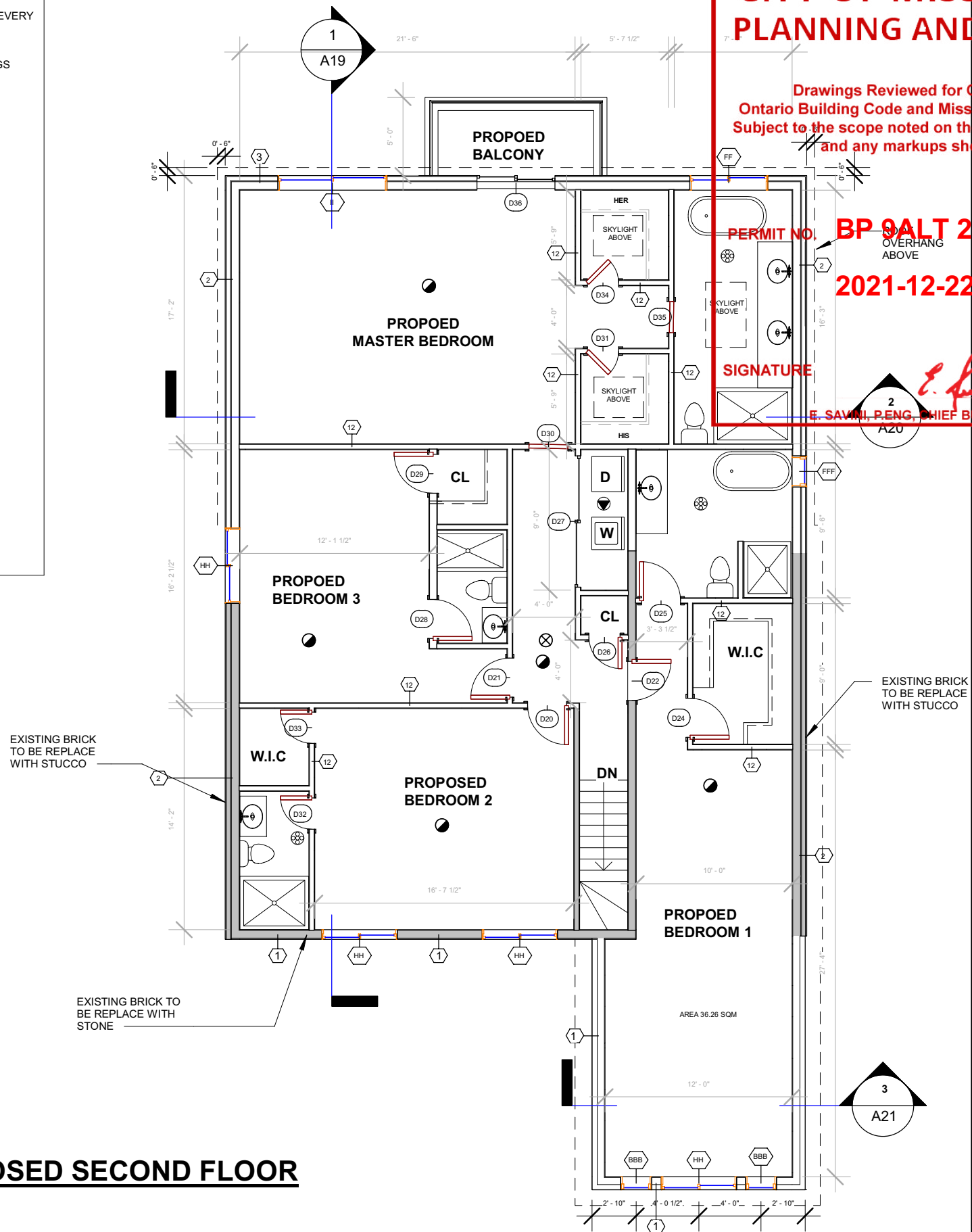
BRICK VENEER WALL:
 1) 4" STONE
 (ATTACHED TO SHEATHING WITH METAL TIES EVERY
 2) 1'-6" VERT. & HORIZ)
 3) 1.5" AIR GAP
 4) # 15 CONSTRUCTION PAPER / TYVEK
 5) 1/2" EXTERIOR RATED PLY WOOD SHEATHINGS
 6) 2"x6" STUDS @ 16" O/C
 7) R-24 BATT INSULATION
 (WITH CONTINUOUS CONTACT W/ EXTERIOR
 SHEATHING)
 8) 6 mm AIR / VAPOUR BARRIER
 (LAP AND SEAL JOINTS)
 9) 1/2" DRYWALL
 10) TAPED/ SANDED AND PAINTED.
NOT:
 FINISH DOUBLE PLATE @ TOP
 SOLE PLATE @ BOTTOM
 STONE MAY BE ATTACHED AS PER
 MANUFACTURERS INSTRUCTIONS.



**NOT APPROVED
FOR SECOND
DWELLING UNIT**

**ZONING
REVIEWED**
NAME C. J. Webb
DATE Dec 14/2021

PROPOSED SECOND FLOOR



CITY OF MISSISSAUGA
PLANNING AND BUILDING

Drawings Reviewed for Compliance with
Ontario Building Code and Mississauga Zoning By-law
Subject to the scope noted on the Building Permit Notice
and any markups shown thereon.

PERMIT NO. **BP 9ALT 21-8441**
OVERHANG ABOVE
2021-12-22

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

GENERAL NOTES:

All construction to adhere to these plans and specs and to conform to the Ontario code and all other applicable permits and authorities in Kingston jurisdiction. general contractor shall check and verify all dimensions and reports all errors and omissions before proceeding with the work.

QUALIFICATION INFORMATION



NAME	FIRM NAME
SAHAR ARFA	ARFA DESIGN INC

BCIN	BCIN
107072	110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code.in the appropriate classes categories

PROJECT NAME

2589 VINELAND RD

DRAWING NAME

PROPOSE SECOND
FLOOR

A13

SCALE As indicated



CITY OF MISSISSAUGA
PLANNING AND BUILDING

Top of Roof
162.05 7.77

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Ontario Building Code and Mississauga Zoning By-law
Subject to the scope noted on the Building Permit Notice
and any markups shown on the drawings

PERMIT NO. BP 9ALT 21-8441
T.O. PLATE
159.74 5.46

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

T.O. SECOND FLOOR
157.45 3.18

T.O. MAIN FLOOR
154.73 0.46

GRADE
154.27 0.00

T.O. BASEMENT
152.19 -2.08

Top of Footing
-2.18

GENERAL NOTES:
All construction to adhere to these plans and specs and to conform to the Ontario code and all other applicable codes and authorities in their jurisdiction. general contractor shall check and verify all dimensions and reports all errors and omissions before proceeding with the work.

QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 110518 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code in the appropriate classes categories

PROJECT NAME

2589 VINELAND RD

DRAWING NAME

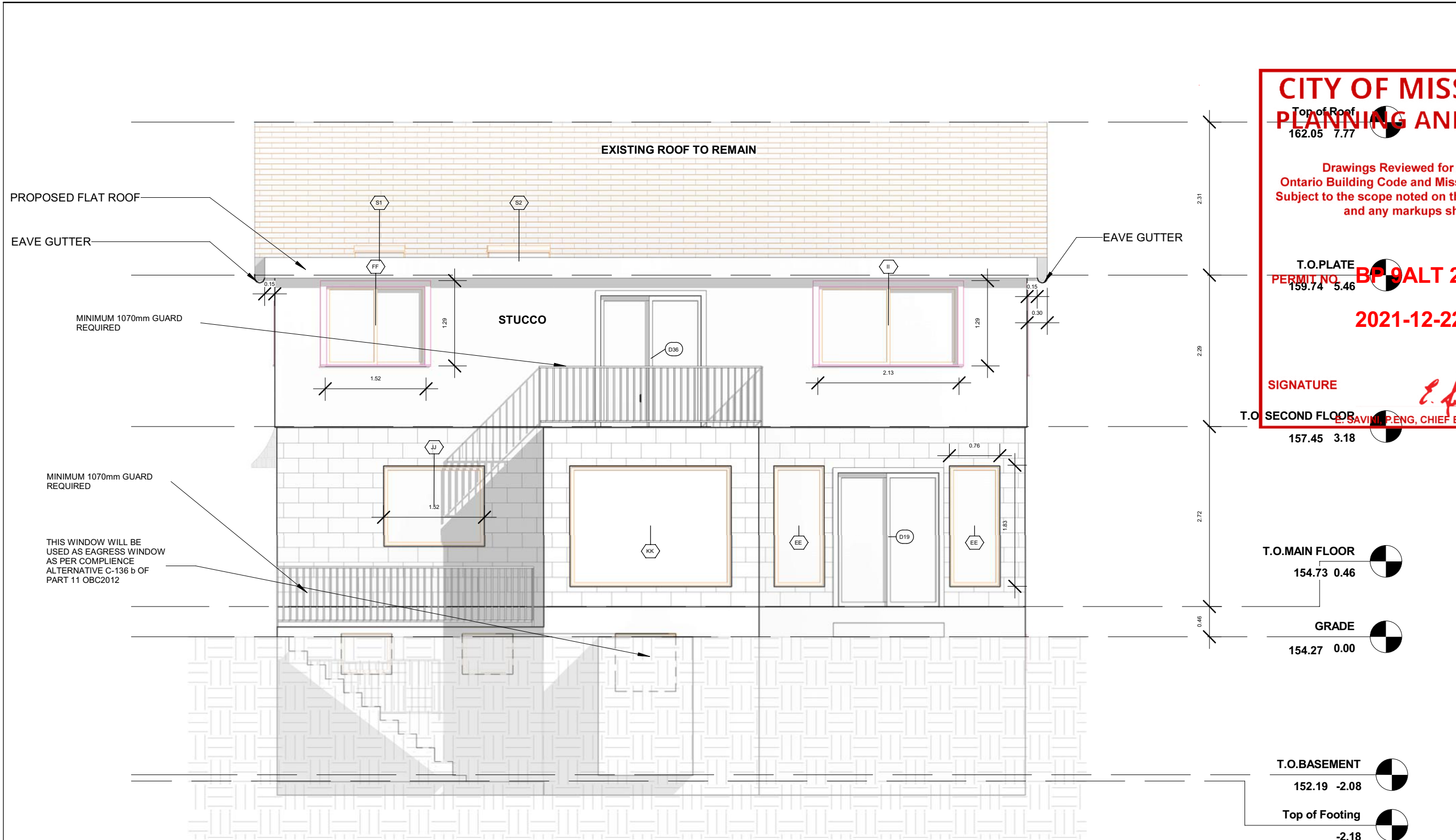
PROPOSE FRONT ELEVATION

A14

SCALE 1 : 60



PROPOSED FRONT ELEVATION



**NOT APPROVED
FOR SECOND
DWELLING UNIT**

**ZONING
REVIEWED**
NAME *C. X. G.*
DATE Dec 14/2021

PROPOSED REAR ELEVATION

**CITY OF MISSISSAUGA
PLANNING AND BUILDING**

Drawings Reviewed for Compliance with
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Subject to the scope noted on the Building Permit Notice
and any markups shown on the drawings

T.O. PLATE
PERMIT NO. **BP 9ALT 21-8441**
159.74 5.46

2021-12-22

SIGNATURE *E. Savin*
E. SAVIN P. ENG, CHIEF BUILDING OFFICIAL

T.O. SECOND FLOOR
157.45 3.18

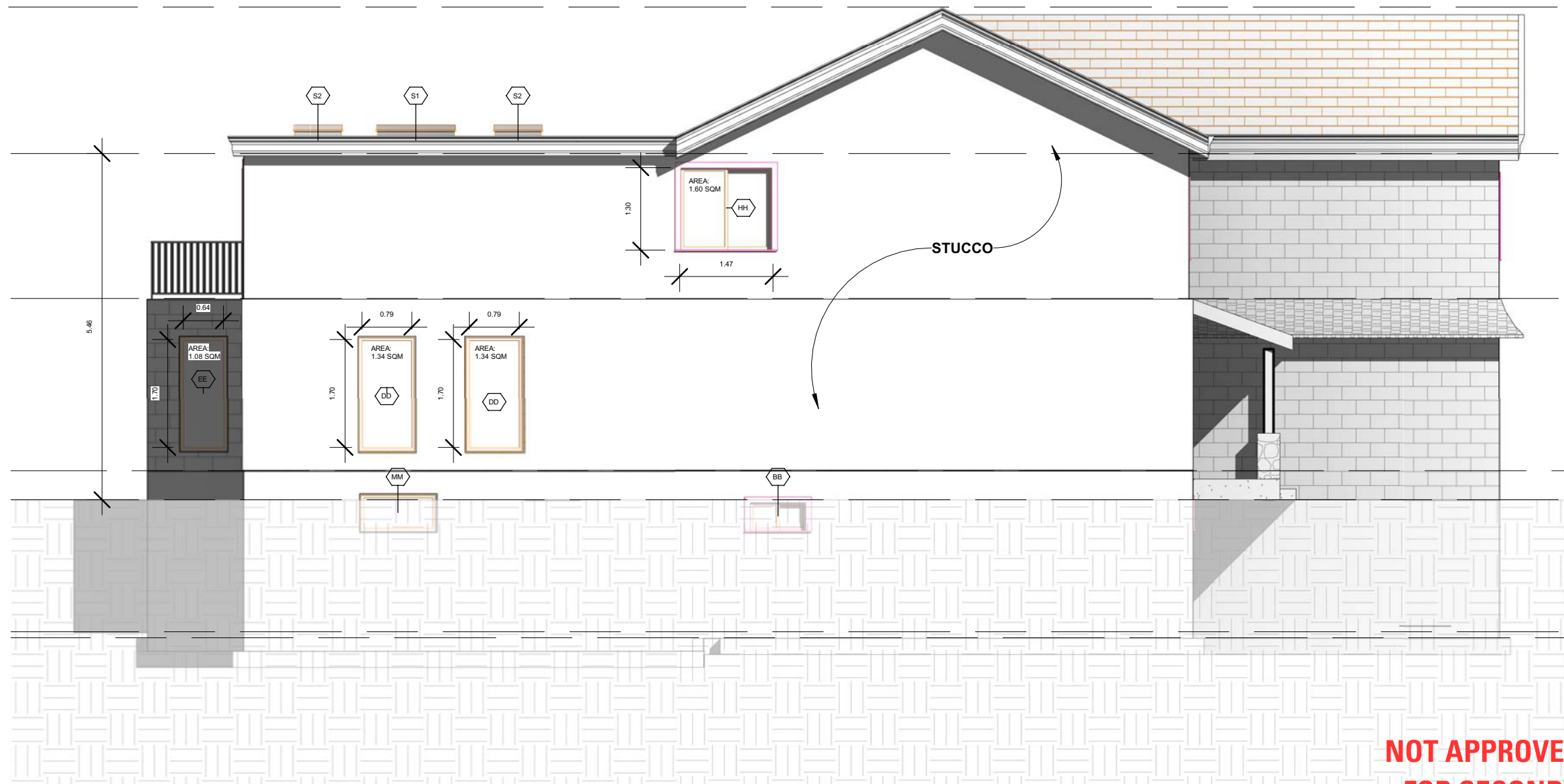
T.O. MAIN FLOOR
154.73 0.46

GRADE
154.27 0.00

T.O. BASEMENT
152.19 -2.08

Top of Footing
-2.18

GENERAL NOTES: All construction to adhere to these plans and Specs and to conform to the Ontario Code and all other applicable codes and authorities in the jurisdiction. general contractor shall check and verify all dimensions and reports all errors and omissions before proceeding with the work.	
QUALIFICATION INFORMATION	
NAME SAHAR ARFA	FIRM NAME ARFA DESIGN INC
BCIN 110572	BCIN 110518
I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code in the appropriate classes categories	
PROJECT NAME	
2589 VINELAND RD	
DRAWING NAME	
PROPOSE REAR ELEVATION	
A15	
SCALE	1 : 60

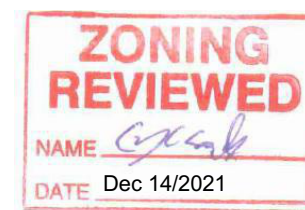


**CALCULATION OF MAXIMUM PERCENTAGE
OF GLAZED OPENINGS**

LIMITING DISTANCE:	6.5 FT
AREA OF EXPOSING OF BUILDING FACE:	120.81 SQM
PROPOSE GLAZE WINDOW	5.36 SQM

PROPOSED LEFT ELEVATION

**NOT APPROVED
FOR SECOND
DWELLING UNIT**



**CITY OF MISSISSAUGA
PLANNING AND BUILDING**

**Drawings Reviewed for Compliance with
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Top of Roof
162.05 7.77

PERMIT NO. **BP 9ALT 21-8441**

2021-12-22
T.O.PLATE
159.74 5.46

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

T.O. SECOND FLOOR
157.45 3.18

T.O.MAIN FLOOR
154.73 0.46

GRADE
154.27 0.00

T.O.BASEMENT
152.19 -2.08

Top of Footing
-2.18



GENERAL NOTES:

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QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 110518 BCIN 110518

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PROJECT NAME

2589 VINELAND RD

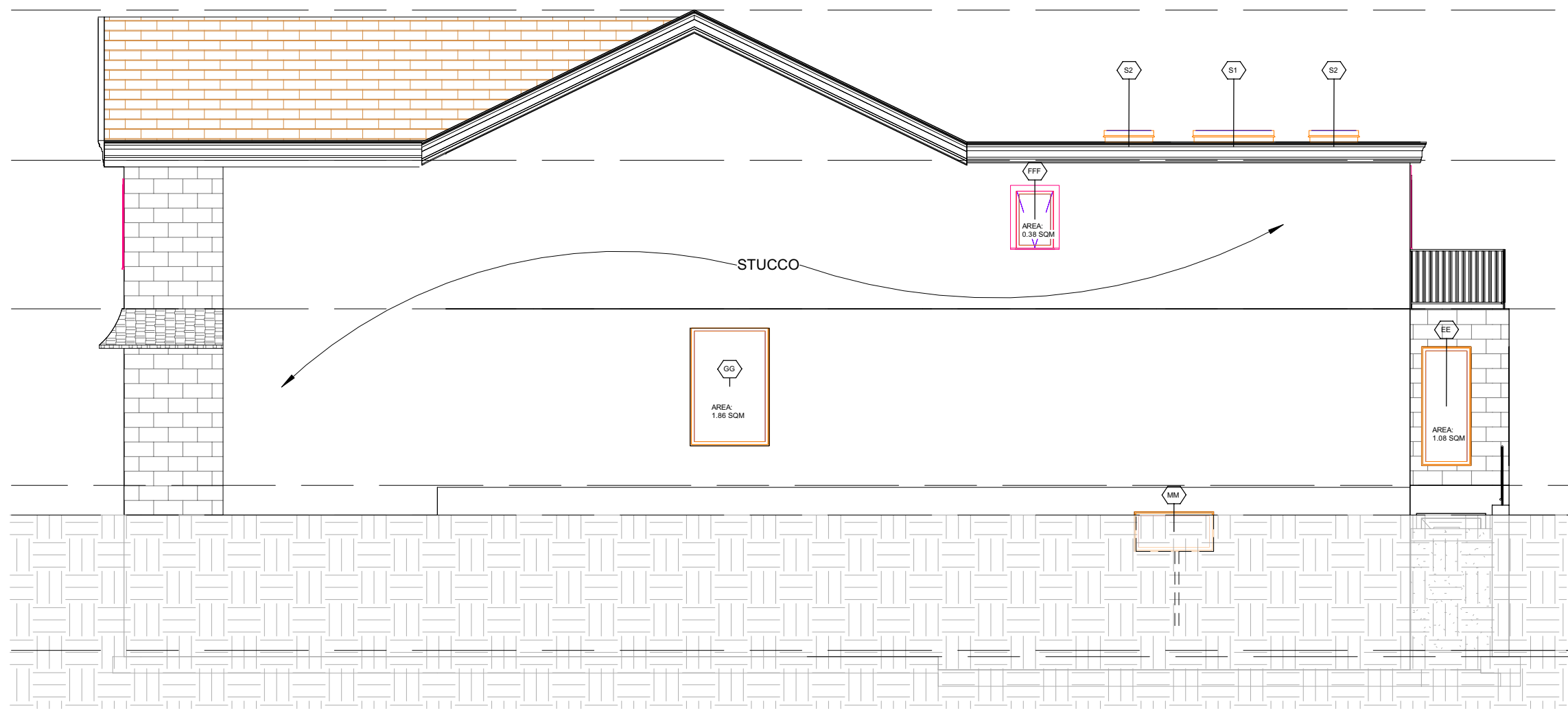
DRAWING NAME

PROPOSE LEFT
ELEVATION

A16

SCALE

1 : 80



**CALCULATION OF MAXIMUM
PERCENTAGE OF GLAZED OPENINGS**

LIMITING DISTANCE:	6.5 FT
AREA OF EXPOSING OF BUILDING FACE:	119.92 SQM
PROPOSE GLAZE WINDOW	3.32 SQM

PROPOSED RIGHT ELEVATION

**CITY OF MISSISSAUGA
PLANNING AND BUILDING**

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Top of Roof
162.05 7.77

PERMIT NO. **BP 9ALT 21-8441**

2021-12-22

T.O.PLATE
159.74 5.46

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

T.O. SECOND FLOOR
157.45 3.18

T.O.MAIN FLOOR
154.73 0.46

GRADE
154.27 0.00

T.O.BASEMENT
152.19 -2.08

Top of Footing
-2.18

**NOT APPROVED
FOR SECOND
DWELLING UNIT**

**ZONING
REVIEWED**
NAME *C. Savini*
DATE Dec 14/2021



GENERAL NOTES:

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QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 110518 BCIN 110518

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PROJECT NAME

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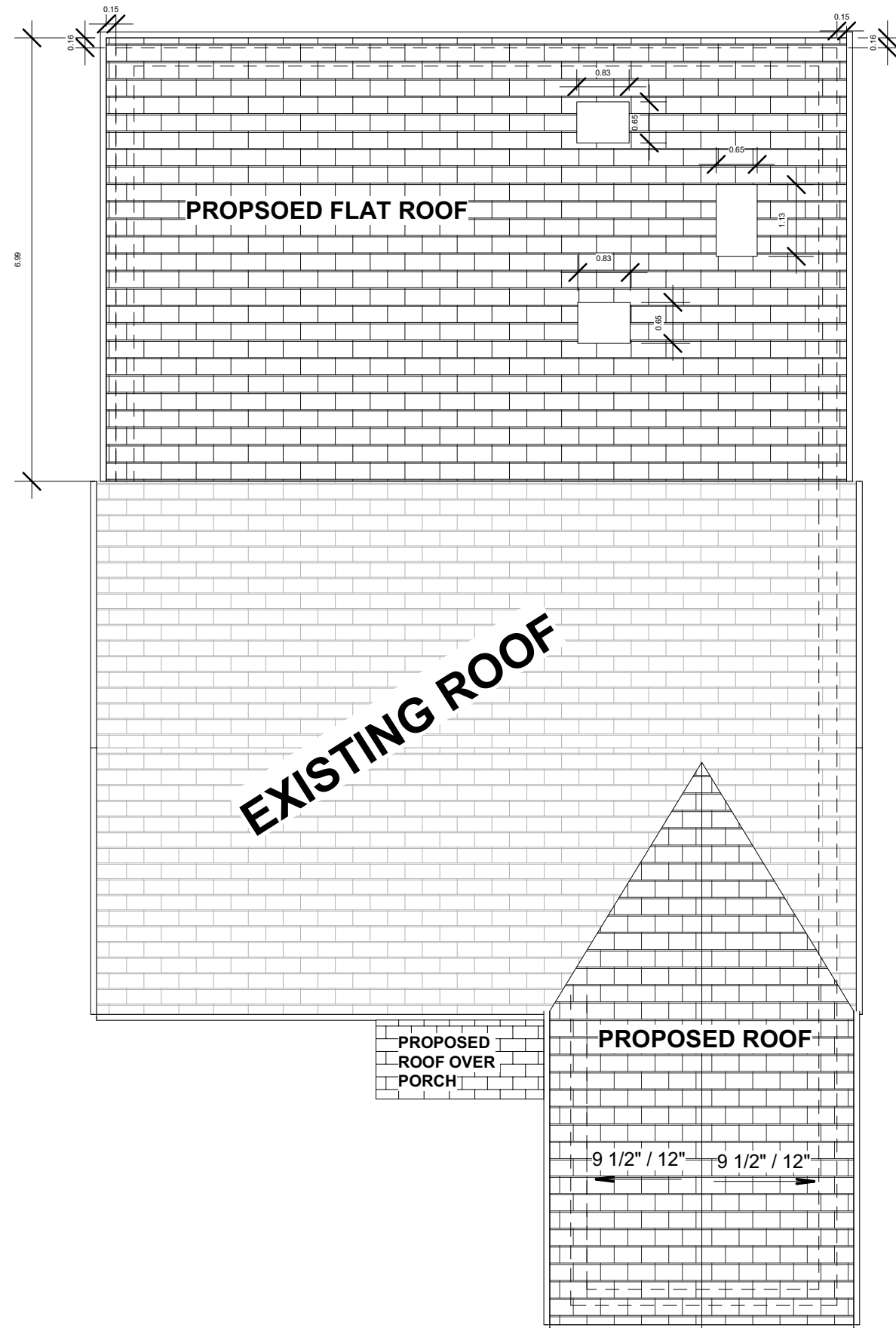
DRAWING NAME

PROPOSED RIGHT
ELEVATION

A17

SCALE

1 : 80



NOT APPROVED
FOR SECOND
DWELLING UNIT

**ZONING
REVIEWED**
NAME C. Savini
DATE Dec 14/2021

PROPOSED ROOF PLAN

CITY OF MISSISSAUGA PLANNING AND BUILDING

**Drawings Reviewed for Compliance with
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PERMIT NO. **BP 9ALT 21-8441**

2021-12-22

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL



GENERAL NOTES:

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QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 110518 BCIN 110518

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PROJECT NAME

2589 VINELAND RD

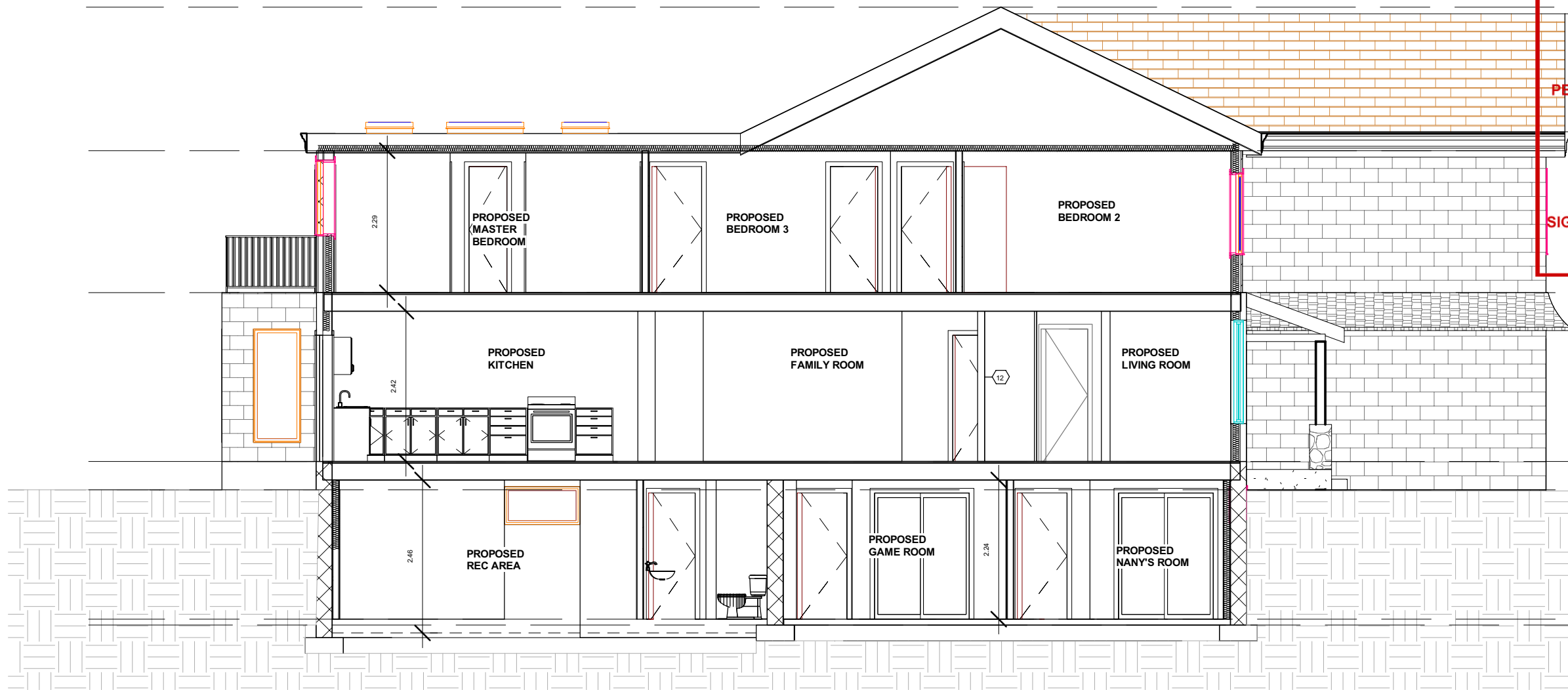
DRAWING NAME

PROPOSED ROOF

A18

SCALE

1 : 90



SECTION 1

**CITY OF MISSISSAUGA
PLANNING AND BUILDING**

Drawings Reviewed for Compliance with
Ontario Building Code and Mississauga Zoning By-law
Subject to the scope noted on the Building Permit Notice
and any markings shown thereon

PERMIT NO. **BP 9ALT 21-8441**

T.O. PLATE **2021-12-22**
5.46

SIGNATURE *E. Savini*
E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

T.O. SECOND FLOOR
3.18

T.O. MAIN FLOOR
0.46

GRADE
0.00

T.O. BASEMENT
-2.08

Top of Footing
-2.18



GENERAL NOTES:
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QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC
BCIN 110572 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code in the appropriate classes categories

PROJECT NAME

2589 VINELAND RD

DRAWING NAME

SECTION 1

A19

SCALE 1 : 80



SECTION 2

**CITY OF MISSISSAUGA
PLANNING AND BUILDING**

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Ontario Building Code and Mississauga Zoning By-law
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PERMIT NO. **BP 9ALT 21-8441**

2021-12-22

T.O. PLATE
5.46

SIGNATURE *E. Savini*

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

T.O. SECOND FLOOR
3.18

T.O. MAIN FLOOR
0.46

GRADE
0.00

T.O. BASEMENT
-2.08

Top of Footing
-2.18



GENERAL NOTES:
All construction to adhere to these plans and specs and to conform to the Ontario code and all other applicable codes and authorities jurisdiction. general contractor shall check and verify all dimensions and reports all errors and omissions before proceeding with the work.

QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 110518 BCIN 110518

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PROJECT NAME

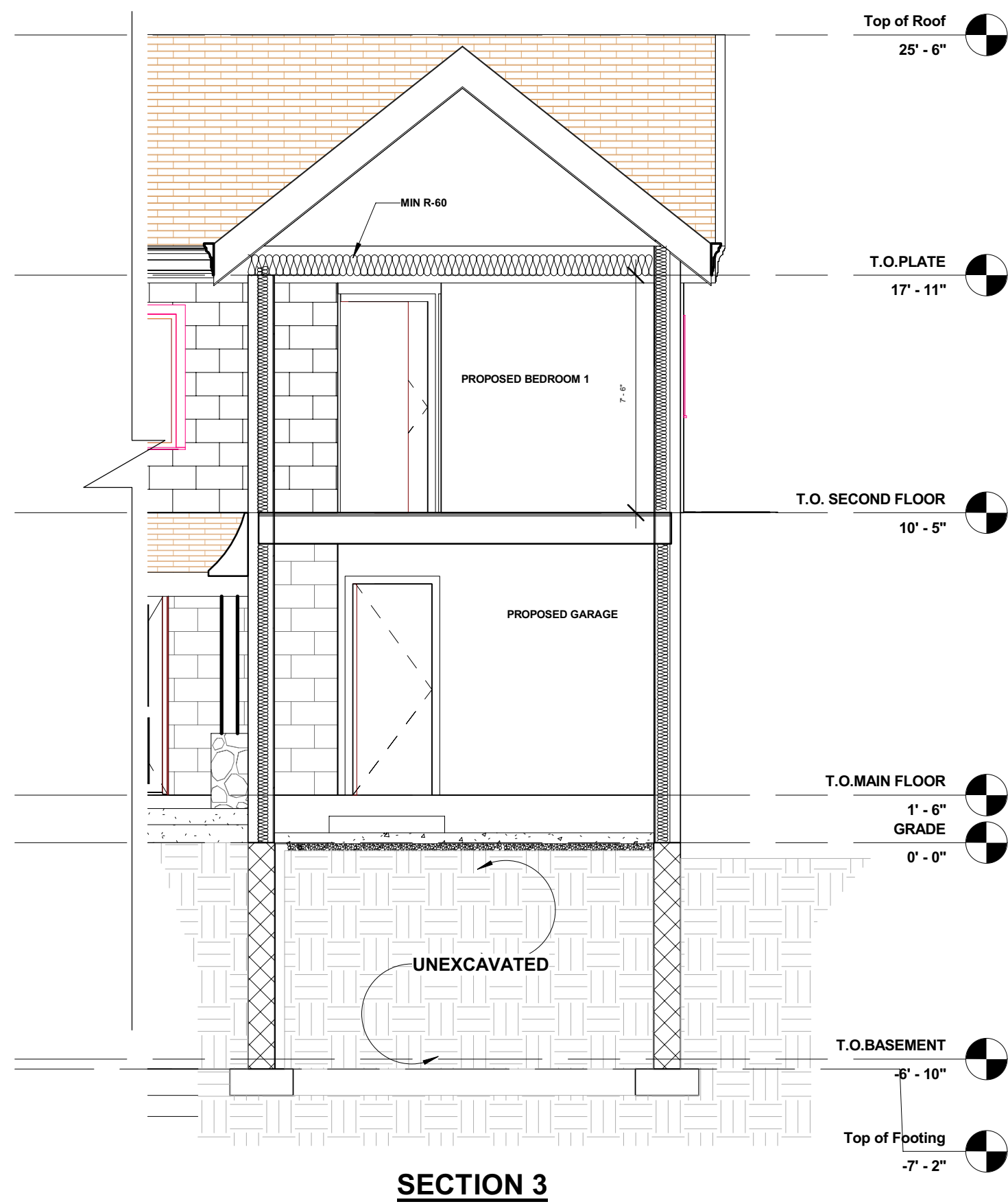
2589 VINELAND RD

DRAWING NAME

SECTION 2

A20

SCALE 1 : 70



CITY OF MISSISSAUGA PLANNING AND BUILDING

Drawings Reviewed for Compliance with Ontario Building Code and Mississauga Zoning By-law
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PERMIT NO. **BP 9ALT 21-8441**


2021-12-22

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL

GENERAL NOTES:
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QUALIFICATION INFORMATION

	
NAME SAHAR ARFA	FIRM NAME ARFA DESIGN INC
BCIN 110518	BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of deviation c of the building code.in the appropriate classes categories

PROJECT NAME

2589 VINELAND RD

DRAWING NAME

SECTION 3

A21

SCALE 1 : 50

DOOR SCHEDULE			
Mark	Count	Width	Height

D1	1	0.76	2.03
D2	1	0.76	2.03
D3	1	1.52	2.03
D4	1	1.52	2.03
D5	1	0.81	2.03
D6	1	0.76	2.03
D7	1	0.71	2.03
D8	1	0.71	2.03
D9	1	0.91	2.03
D10	1	1.22	2.03
D11	1	1.27	1.98
D12	1	0.91	2.03
D13	1	3.18	2.44
D14	1	0.76	2.03
D15	1	0.76	2.03
D16	1	0.66	2.03
D17	1	0.76	2.03
D18	1	1.52	2.03
D19	1	1.52	2.03
D20	1	0.76	2.03
D21	1	0.76	2.03
D22	1	0.76	2.03
D24	1	0.76	2.03
D25	1	0.76	2.03
D26	1	0.61	2.03
D27	1	2.57	2.03
D28	1	0.76	2.03
D29	1	0.76	2.03
D30	1	0.76	2.03
D31	1	0.61	2.03
D32	1	0.61	2.03
D33	1	0.61	2.03
D34	1	0.61	2.03
D35	1	0.61	2.03
D36	1	1.52	1.98
D37	1	0.61	2.03
D38	1	0.76	2.03

Grand total

WINDOW SCHEDULE			
Window Type	Count	Width	Height

AA	2	0.76	0.61
BB	3	0.91	0.48
BBB	2	0.61	1.32
CC	1	3.30	2.24
DD	2	0.91	1.83
EE	4	0.76	1.83
FF	1	1.52	1.22
FFF	1	0.61	0.91
GG	1	1.22	1.83
HH	4	1.47	1.32
II	1	2.13	1.22
JJ	1	1.52	1.22
KK	1	2.44	1.83
LL	1	0.91	0.91
MM	2	1.22	0.61
S1	1	1.22	0.74
S2	2	0.91	0.74

Grand total: 30

DOORS

SHOWER DOOR:

2'-0" X 6'-0" OR AS PLAND , TEMPERED GLASS DOOR FRAMELESS STYLE. PROVIDE MIN. 6" CLEAR ABOVE DOOR HARDWARE FINISH TO BE POLISHED CHROME UNLESS NOTED OTHERWISE INSTALL STONE SURROUND AROUND SHOWER OPENING (TO MATCH VANITY TOP)

RESISTANCE TO FORCE ENTRY:

RESISTANCE TO FORCE ENTRY:

ENTRANCE DOORS TO DWELLING UNITS SHALL COMPLY WITH SUBSECTION 9.6.8. "RESISTANCE TO FORCED ENTRY" ' WINDOWS ANY PART OF WHICH IS LOCATED WITHIN 2m (6'-7") OF ADJACENT GROUND LEVEL, SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE 10.13 OF CSA STANDARD A440-M90 WINDOWS.

A).EXTERIOR DOORS TO CONFORM TO OBC. SUBSECTION 9.6.5.EXTERIOR DOORS.

B). WINDOWS TO CONFORM TO OBC. SUBSECTION 9.7.1. & 9.7.2.

DIV. B, 9.6.8.1. RESISTANCE TO FORCED ENTRY APPLIES TO ENTRANCE DOORS, SWINGING DOORS BETWEEN DEWELLING UNITS AND ATTACHED GARAGES

DIV. B, 9.6.8.2. WOOD DOORS SHOULD BE SOLID CORE OR STILE TYPE 45 MM THICK OR IF STILE AND RAIL TYPE SHOULD HAVE A MINIMUM PANEL THICKNESS OF 19 MM

DIV. B, 9.6.8.3. ALL DOORS DESCRIBED IN ITEM 1 ABOVE SHOULD HAVE A DEADBOLT LOCK .

DIV. B, 9.6.8.4. DOUBLE DOORS SHOULD HAVE THE INACTIVE LEAF PROVIDED WITH HEAVY DUTY BOLTS TOP AND BOTTOM

DIV. B, 9.6.8.5(1) HINGES FOR WOOD DOORS SHOULD BE FASTENED WITH NOT LESS THAN 25 MM SCREWS AND INTO WOOD FRAMES WITH AT LEAST TWO SCREWS 30 MM PER HINGE

PROTECTION ABOVE RANGES

PROTECTION FOR GAS, PROPANE AND ELECTRIC RANGES

DIV. B, 9.10.22.2. FRAMING, FINISHES AND CABINETRY ABOVE A RANGE SHOULD BE NOT LESS THAN 750 MM ABOVE THE LEVEL OF THE BURNERS OR ELEMENTS OR 600 MM IF PROTECTED WITH A METAL HOOD

DIV. B, 9.10.22.3. CABINETRY AT THE SIDES OF THE RANGE ARE NOT REQUIRED TO BE PROTECTED PROVIDED THEY ARE NOT LESS THAN 450 MM ABOVE THE BURNERS OR ELEMENTS

WINDOW & SKY LIGHT

PERIMETER DOORS AND WINDOWS TO BE SELECTED BY OWNER. DOOR SHALL CONFORM TO OBC. 9.6. WINDOWS AND SKYLIGHTS SHALL CONFORM TO OBC.9.7. ALSO WINDOWS, DOORS SHALL COMPLY WITH NATURAL VENTILATION REQUIREMENTS OF OBC.9.32.3.

WINDOWS AND SKYLIGHTS

DIV. B, 9.7.1.2. THE MINIMUM WINDOW AREAS FOR DWELLINGS SHOULD CONFORM TO TABLE 9.7.1.2.

DIV. B, 9.7.1.3.AT LEAST ONE WINDOW ON FLOOR WITH BEDROOM

DIV. B, 9.7.1.4. WHERE WINDOW IN ITEM 2 ABOVE OPENING WINDOW WELL, THERE SHOULD BE A CLEARANCE OF 550 MM IN FRONT OF WINDOW

DIV. B, 9.7.1.5. WHERE TERMITES EXIST WOOD WINDOWS SHOULD HAVE A CLEARANCE TO ADJACENT GROUND OF 150 MM

DIV. B, 9.7.1.6. WINDOWS SERVING DWELLING UNITS SHOULD HAVE THE SILL MORE THAN 480 MM ABOVE FLOOR AND NOT MORE THAN 1800 MM ABOVE GRADE OR PROVIDED WITH A GUARD

SB-12 2 11 8 ALL WINDOWS SHOULD HAVE AN OVER GLASS COEFFICIENT OF HEAT TRANSFER AS NOTED

SKYLIGHT

SKYLIGHT

CURB MOUNTED DOUBLE GLAZED SKYLIGHT. CO-ORDINATE W/MANUFACTURER INSTALL AS PER MANUFACTURERS SPEC.SKYLIGHT TO BE ULC APPROVED LABELLED AND TO CONFORM TO CAN/CGSB-63.14-M C/W. DOUBLE RAFTERS AND CEILING JOISTS AROUND OPENING.

CITY OF MISSISSAUGA
PLANNING AND BUILDING

Drawings Reviewed for Compliance with
Ontario Building Code and Mississauga Zoning By-law
Subject to the scope noted on the Building Permit Notice
and any markups shown on the drawings

PERMIT NO. BP 9ALT 21-8441

2021-12-22

SIGNATURE

E. SAVINI, P.ENG, CHIEF BUILDING OFFICIAL



GENERAL NOTES:
All construction to adhere to these plans and Spec's and to conform to the Ontario Code and all other applicable codes and authorities in the jurisdiction.general contractor shall check and verify all dimentions and reports all errors and omissions before proceeding with the work.

QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 113672 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of devision c of the building code.in the appropriate classes categories

PROJECT NAME

2589 VINELAND RD

DRAWING NAME

DOOR & WINDOW SCHEDULE

A22

SCALE 1 : 140